

## **RESOLUTION NO. 2016-11**

### **A Resolution of the Board of Commissioners of Southwest Suburban Sewer District, King County Washington, confirming action taken by the District in the Execution of Developer Extensions.**

**WHEREAS**, the District, has approved and authorized execution of Developer Extension Agreements; and

**WHEREAS**, the Board of Commissioners confirms by resolution its action taken in authorizing the General Manager to enter into contract with Group Health Cooperative, owner of Group Health #187 Developer Extension and to carry out the terms and conditions of the contract.

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Commissioners of Southwest Suburban Sewer District, King County, Washington as follows:

1. The action taken by the Board of Commissioners in authorizing the execution of the aforementioned Developer Extension as set forth herein and as reflected in the minutes of the District's regular meeting, are hereby confirmed.
2. The District's General Manager is authorized to fully implement this agreement and to enforce the terms and conditions of the contract.

**ADOPTED** by the Board of Commissioners of the Southwest Suburban Sewer District, King County, Washington at a regular meeting held on this 31st day of May, 2016.

SOUTHWEST SUBURBAN SEWER DISTRICT  
KING COUNTY, WASHINGTON

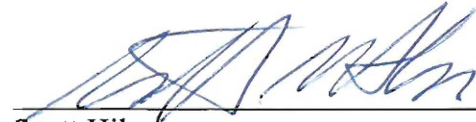
ATTEST:

*Individual Commissioner's  
Vote on Resolution*

In Favor of: ☒  
Opposed: ☐  
Abstained: ☐

  
\_\_\_\_\_  
Susan Genzale  
President and Commissioner

In Favor of: ☒  
Opposed: ☐  
Abstained: ☐

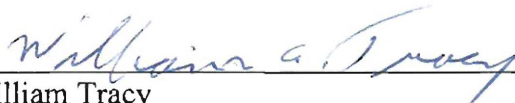
  
\_\_\_\_\_  
Scott Hilsen  
Vice-President and Commissioner

In Favor of: ☒  
Opposed: ☐  
Abstained: ☐

  
\_\_\_\_\_  
William Tracy  
Secretary and Commissioner

## C E R T I F I C A T E

I, William Tracy, Secretary of the Board of Commissioners of Southwest Suburban Sewer District, King County, Washington, DO HEREBY CERTIFY that the foregoing resolution is a true and correct copy of Resolution 2016-11 of said Board, duly adopted at a regular meeting thereof held on the 31st of May, 2016, signed by the members of such Board in attendance at such meeting and attested by myself in authentication of such adoption.

  
\_\_\_\_\_  
William Tracy  
Secretary of the Board of Commissioners  
Southwest Suburban Sewer District

Group HEALTH DE # 187

**FORM A**

**SOUTHWEST SUBURBAN SEWER DISTRICT  
KING COUNTY, WASHINGTON**

**APPLICATION FOR DEVELOPER EXTENSION**

1. The undersigned hereby makes application to Southwest Suburban Sewer District, King County, Washington, for permission to construct and install an extension to the sewer system in public rights-of-way under the District's franchise, and/or on easements over private property to connect to the District's sewer system and which are subject to the approval of the District.
2. A check for the \$500.00 review fee for this application is attached.
3. The proposed extension will be installed in roads and/or easements and/or on other approved rights-of-way and shall be for the use and benefit of the property hereinafter legally described as follows:

The common street address of the property is: 140 SW 146<sup>th</sup> St  
Burien, WA 98166

The legal description of the property is: ALL OF BURIED BLA  
LLA #12-0118 REC #20120222900008 SD BLA  
IS LOCATED IN NE 1/4 OF NE 1/4 OF 19-23-04

Tax Parcel Number(s): 1923049302

4. (a) Describe the type of improvements planned for the above-described property, i.e., single family residences, other individual residential units or commercial usage, and the proposed number of units.

The proposed development is an approx. 23,500 SF medical office facility with associated parking, stormwater management facilities, and utilities. The existing medical buildings and parking areas will be demolished. The existing water and sewer mains will be rerouted as part of this redevelopment. The single family homes shown on the survey were previously demolished.

(b) Attached to the application shall be four copies of each of the following:

- A preliminary plan setting forth the proposed development. The plan shall include property boundary lines, indication of type of development, location of roads, building and/or other important features, type of building construction, and the number of units shall be stated.
- A final or preliminary plat map or property map of the property to be developed.
- A contour map of the area with a five-foot contour interval or less. Datum shall be based on the most recent U.S.C.G.S. with benchmark locations shown.
- Existing and proposed roadway profiles.

5. Set forth the proposed date for construction of project and the anticipated completion date for the project:

Start of Construction: 7/1/2016

Completion of Construction: 7/1/2018

6. Set forth common street address, telephone and fax numbers, and e-mail address of Owner:

Address: Gordon Moorman (Group Health Cooperative)

12501 E Marginal Way S, ASB-1 Tukwila, WA 98168

Telephone: (206) 998-7583 Fax:

E-Mail: moorman.g@ghc.org



